

GENERAL DEMOLITION NOTES

- A. COORDINATE PROPOSED METHODS AND OPERATIONS OF DEMOLITION WITH OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO START OF DEMOLITION WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
- B. INTERRUPTIONS IN DAILY OPERATIONS MUST BE COORDINATED IN ADVANCE WITH OWNER'S DESIGNATED REPRESENTATIVE. THIS SHALL INCLUDE SERVICE INTERRUPTIONS AND CONNECTIONS, REMOVAL OF EQUIPMENT, MECHANICAL AND ELECTRICAL DISRUPTION, ETC. ANY OF THE ABOVE INTERRUPTIONS REQUIRE A MINIMUM OF THREE FULL WORKING DAYS NOTICE TO THE OWNER. FRIDAY P.M. NOTICE FOR MONDAY A.M. INTERRUPTIONS WILL NOT BE ACCEPTABLE.
- C. CONDUCT DEMOLITION AND DEBRIS REMOVAL IN A SAFE MANNER TO MINIMIZE INTERFERENCE WITH CORRIDORS, HALLS, STAIRS, AND OTHER ADJACENT FACILITIES AND TO AVOID DAMAGE TO SAME. DO NOT CLOSE OR OBSTRUCT TRAFFIC WAYS WITHOUT PERMISSION OF THE OWNER.
- D. PROVIDE TEMPORARY DUST ENCLOSURES AROUND ALL AREAS OF WORK. PREVENT DUST, DEBRIS, ETC. FROM REACHING ADJACENT AREAS OF BUILDING.
- E. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- F. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SHOWN OR SCHEDULED TO REMAIN AS THE PROPERTY OF THE OWNER OR NOT DISCLAIMED BY THE OWNER PRIOR TO THE BEGINNING OF DEMOLITION WORK SHALL BE CAREFULLY REMOVED AND STORED WHERE DIRECTED BY THE OWNER. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED.
- G. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SCHEDULED TO BE REMOVED AND NOT REUSED AND DISCLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- H. VERIFY SAVING AND RE-USE OF ALL MISCELLANEOUS ITEMS AND EQUIPMENT NOT SPECIFICALLY LISTED ON THE DRAWINGS WITH THE OWNER PRIOR TO DEMOLITION.
- I. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR THE FINISH SCHEDULE, ALL PORTIONS OF THE EXISTING BUILDING (INCLUDING FINISHES) DISTURBED BY DEMOLITION OF EXISTING CONSTRUCTION AND/OR INSTALLATION OF NEW CONSTRUCTION, INCLUDING MECHANICAL AND ELECTRICAL WORK, SHALL BE REPAIRED AS REQUIRED AND RETURNED TO ITS ORIGINAL UNDISTURBED CONDITION OR BETTER.
- J. REMOVE ALL EXISTING WALL CONSTRUCTION, MILLWORK, EQUIPMENT, ETC. SHOWN DASHED ON THIS DRAWING IN ITS ENTIRETY TO THE EXTENT SHOWN ON THE DRAWINGS. PARTITIONS SHALL BE REMOVED FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
- K. AT EXISTING INTERSECTING WALL WHERE ONE WALL HAS BEEN DEMOLISHED, PREPARE NEWLY EXPOSED AREA OF WALL TO MATCH EXISTING ADJACENT SURFACES.
- L. EXISTING WALLS INDICATED TO REMAIN ARE FOR PURPOSES OF ECONOMY ONLY. CONTRACTOR MAY ASSUME, IF MORE EXPEDIENT FOR CONSTRUCTION OR LESS EXPENSIVE FOR THE OWNER, THAT EXISTING CONSTRUCTION MAY BE REMOVED AND REPLACED WITH NEW CONSTRUCTION ACCEPTABLE TO THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.

DEMOLITION KEYNOTES

- THE FOLLOWING LIST OF SPECIFIC DEMOLITION NOTES ARE KEYNOTED ON THE DEMOLITION PLANS FOR CONTRACTOR'S REFERENCE:
- 6.01 REMOVE EXISTING MILLWORK, CASEWORK, AND SHELVING.
 - 8.01 REMOVE EXISTING DOOR, FRAME, AND HARDWARE.
 - 9.01 REMOVE EXISTING METAL STUD AND GYPSUM BOARD PARTITION(S) ENTIRELY TO EXTENT SHOWN ON DRAWINGS.
 - 9.02 REMOVE EXISTING METAL STUD AND GYPSUM BOARD PARTITION TO ACCOMMODATE NEW DOOR.
 - 9.04 REMOVE EXISTING SUSPENDED CEILING GRID AND PANEL SYSTEM IN ITS ENTIRETY.
 - 9.05 REMOVE EXISTING GYPSUM WALLBOARD SOFFIT.
 - 9.06 REMOVE EXISTING FLOORING AND BASE.
 - 11.01 REMOVE EXISTING EQUIPMENT AND TURN OVER TO OWNER.
 - 15.01 REMOVE HVAC EQUIPMENT, DIFFUSERS, AND GRILLES. REFER TO MECHANICAL DRAWINGS.
 - 15.02 REMOVE PLUMBING FIXTURES AND FITTINGS. REFER TO PLUMBING DRAWINGS.
 - 16.01 REMOVE ELECTRICAL EQUIPMENT, FIXTURES, AND CONDUITS. REFER TO ELECTRICAL DRAWINGS.
 - 17.01 REMOVE EXISTING TELECOMMUNICATIONS EQUIPMENT AND WIRING. REFER TO TELECOMMUNICATIONS DRAWINGS.
 - 18.01 REMOVE EXISTING MEDICAL GAS OUTLET AND MEDICAL GAS PIPING. SEE PLUMBING DEMOLITION DWGS

DEMOLITION LEGEND

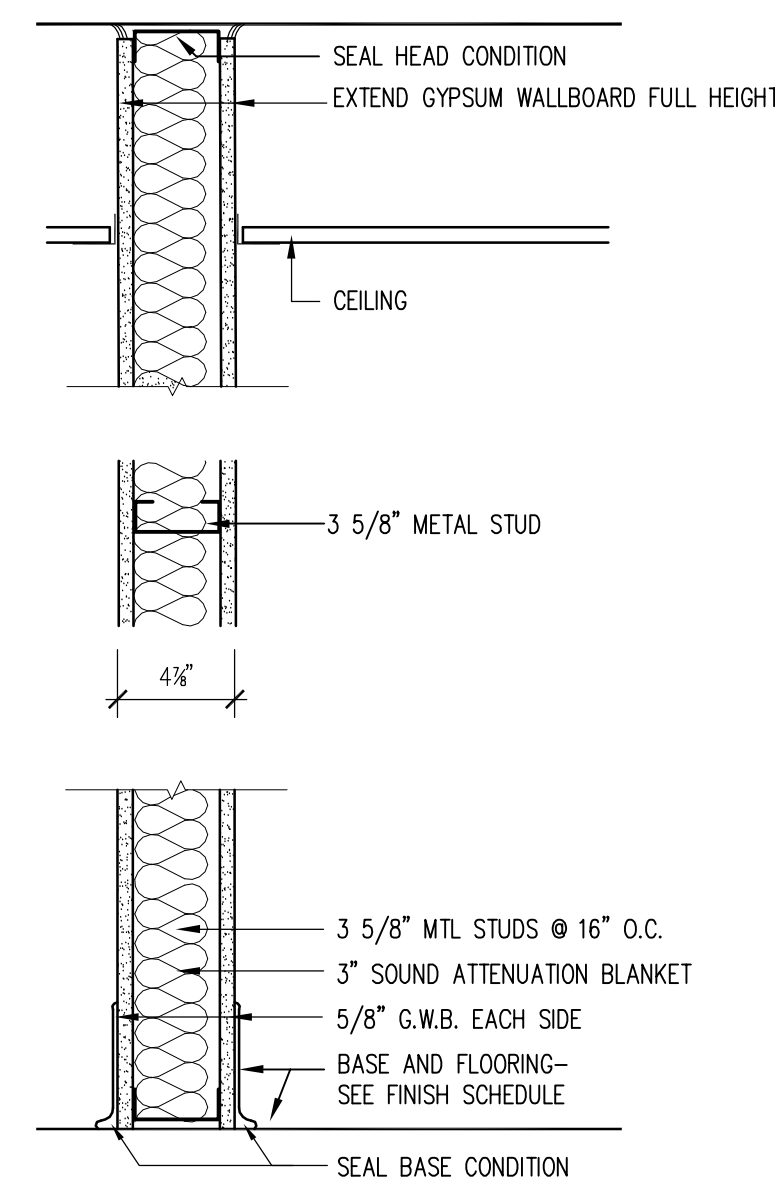
- EXISTING WALLS TO REMAIN
- REMOVE EXISTING CONSTRUCTION
- EXISTING ITEMS TO REMAIN
- REMOVE EXISTING ITEMS

GENERAL FLOOR PLAN NOTES

1. SEE PARTITION TYPES. PARTITIONS ARE TYPE 1 UNLESS OTHERWISE NOTED.
2. EXISTING EQUIPMENT MAY REMAIN. COORDINATE WITH OWNER PROTECT FROM POTENTIAL DAMAGE FROM DEMOLITION / CONSTRUCTION ACTIVITY.
3. DIMENSIONS ARE FROM FACE OF WALL TO FACE OF WALL (I.E. FACE OF GYPSUM BOARD OR MASONRY) OR FROM FACE OF EXISTING CONDITION OR FROM COLUMN CENTERLINE UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISH FACE TO FINISH FACE (I.E. FACE OF CERAMIC TILE TO FACE OF CERAMIC TILE). VERIFY ALL EXISTING DIMENSIONS IN THE FIELD.
4. PROVIDE MINIMUM 4-INCH CLEARANCE FROM FACE OF DOOR JAMB TO FACE OF ADJACENT WALL, UNLESS OTHERWISE NOTED.
5. EXISTING CASEWORK TO REMAIN. PROTECT FROM POTENTIAL DAMAGE FROM DEMOLITION / CONSTRUCTION ACTIVITY.
6. PROVIDE FIRE-TREATED WOOD BLOCKING OR MINIMUM 0.0312-INCH THICK STEEL FLAT STRAP AND BACKING PLATE AT, BUT NOT LIMITED TO, THE FOLLOWING LOCATIONS: TOILET ACCESSORIES, MILLWORK, DOOR WALL BUMPERS, AND ALL OTHER WALL MOUNTED EQUIPMENT OR DEVICES.
7. ALL EXISTING PARTITIONS SURROUNDING THE BUFFER OR ANTEROOM THAT DO NOT CURRENTLY EXTEND TO UNDERSIDE OF FLOOR SLAB SHALL BE MODIFIED TO EXTEND TO SLAB AND SHALL COMPLY WITH DETAILS SHOWN FOR NEW PARTITIONS. ALL PENETRATIONS OR VOIDS SHALL BE SEALED SMOKE-TIGHT AND/OR BE FIRE-STOPPED AS REQUIRED.
8. FLOOR PATCH AND FLOOR LEVELING: REPAIR EXISTING TOPPING SLAB AND CONCRETE FLOOR AT DEMOLITION OF WALLS AND AT ALL OTHER LOCATIONS AS REQUIRED.
9. PATCHING TO MATCH EXISTING: PROVIDE ALL OPENINGS REQUIRED FOR ALL TRADES AND PATCH TO MATCH EXISTING, AT EXISTING CONSTRUCTION ALTERED OR DISTURBED BY THE INSTALLATION, RELOCATION, OR REMOVAL OF HEATING, VENTILATING, AIR CONDITIONING, PLUMBING AND/OR ELECTRICAL EQUIPMENT AND DEVICES. PATCH TO MATCH EXISTING (P.M.), ALL AREAS ADJACENT TO, OR DISTURBED BY, NEW CONSTRUCTION OR EXISTING CONSTRUCTION TO BE REMOVED. PATCH TO MATCH INCLUDES FINISH MATERIAL (PAINT OR VMC OR CERAMIC TILE, ETC.) TO MATCH EXISTING.
10. PROVIDE AND INSTALL 24" DEEP P/LAM CABINETS ABOVE EQUIPMENT. COORDINATE HEIGHT WITH EQUIPMENT.

FLOOR PLAN LEGEND

- CONSTRUCTION LIMIT LINE
- EXISTING WALL CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION



1 HOUR RATED (UL DESIGN NO. U419)
SOUND RATED PARTITION STC 49

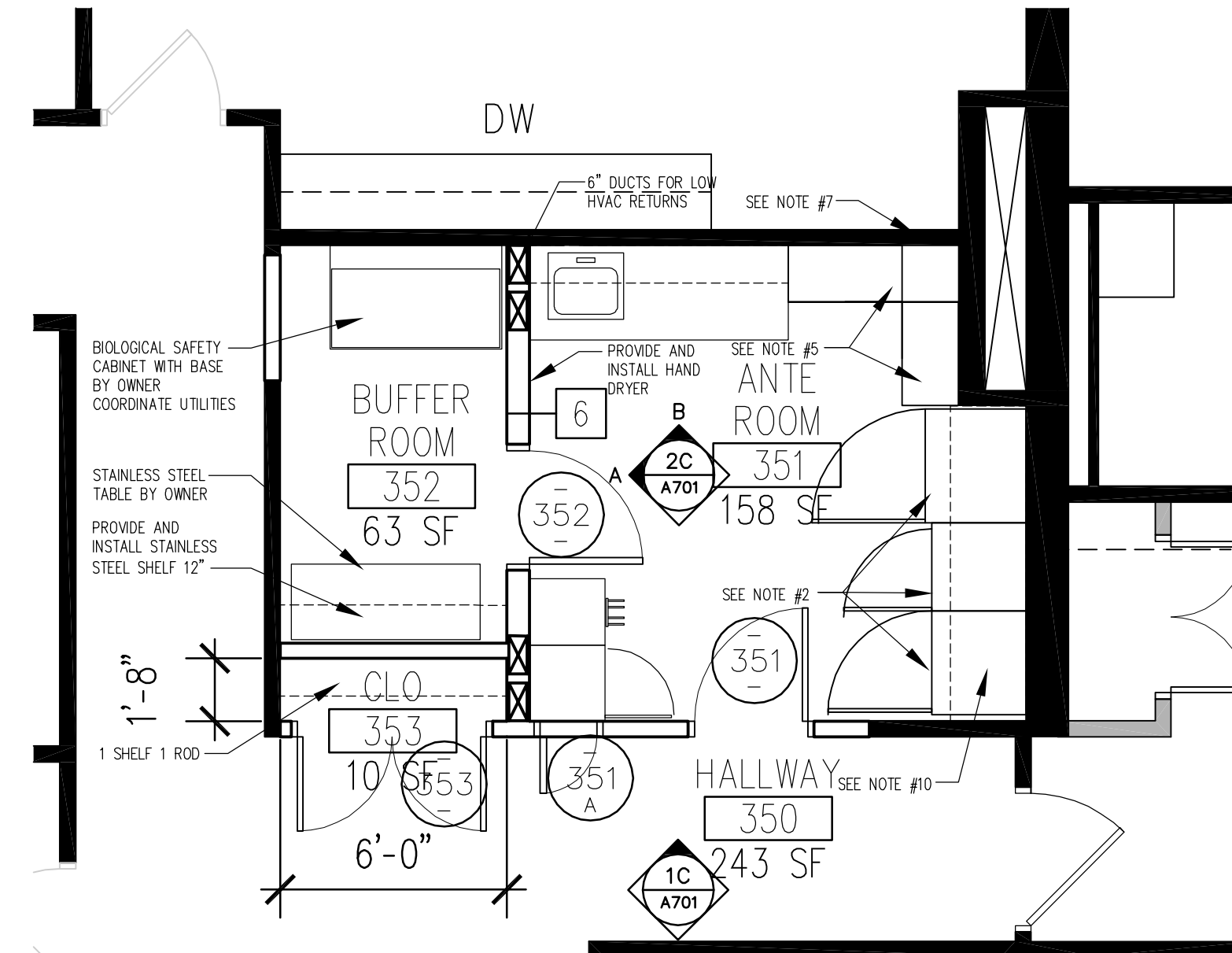
- 1 AS SHOWN
- 6 AS SHOWN ABOVE WITH 6" MTL STUD IN LIEU OF 3 5/8" STUD - ALLOW FOR LOW HVAC RETURN DUCTS

3B PARTITION TYPES

1 1/2" = 1'-0"

4B PARTIAL THIRD FLOOR DEMOLITION PLAN

1/4" = 1'-0"

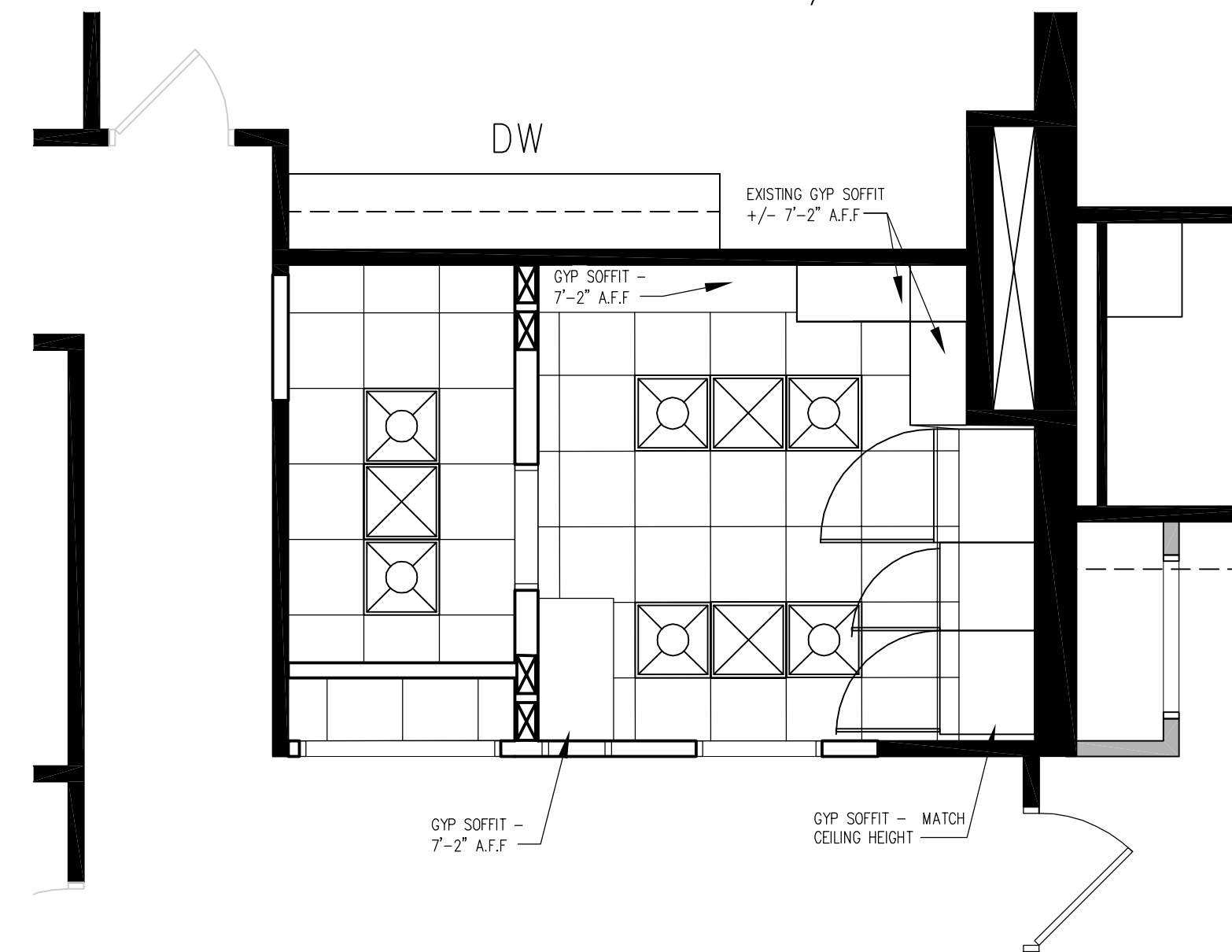


4C PARTIAL THIRD FLOOR PLAN

1/4" = 1'-0"

0 4' 8' 16'

SCALE: 1/4" = 1'-0"



4D PARTIAL THIRD FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

GENERAL DOOR NOTES

1. ALL DOORS ARE 1 3/4" THICKNESS, UNLESS OTHERWISE NOTED.
2. INTERIOR SOLID-CORE DOORS:
 - GRADE: PREMIUM
 - COLORS: TO MATCH FACILITY STANDARD
 - CORE: PARTICLE BOARD
 - CROSSBANDS: MINIMUM 1/10 INCH-THICK HIGH DENSITY FIBERBOARD
 - CONSTRUCTION: FIVE PLYS
3. REFER TO HARDWARE SCHEDULE.
4. REFER TO DOOR DETAILS, FOR TYPICAL JAMB DETAILS. HEADS ARE SIMILAR TO JAMBS SHOWN UNLESS OTHERWISE INDICATED.
5. ALL DOORS TO HAVE STANDARD 5/16" UNDERCUT UNLESS OTHERWISE INDICATED OR REQUIRED TO RECEIVE SCHEDULED THRESHOLD.

DOOR TYPES

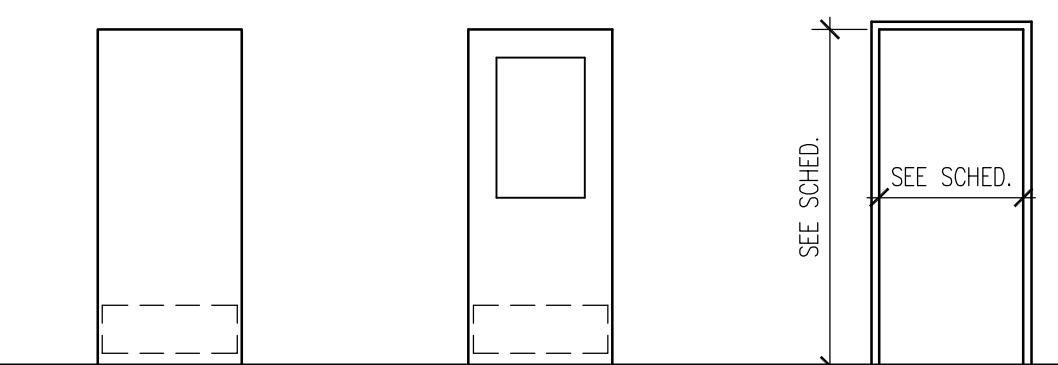
WOOD AND HOLLOW METAL DOORS

DOORS TO MATCH FACILITY STANDARD

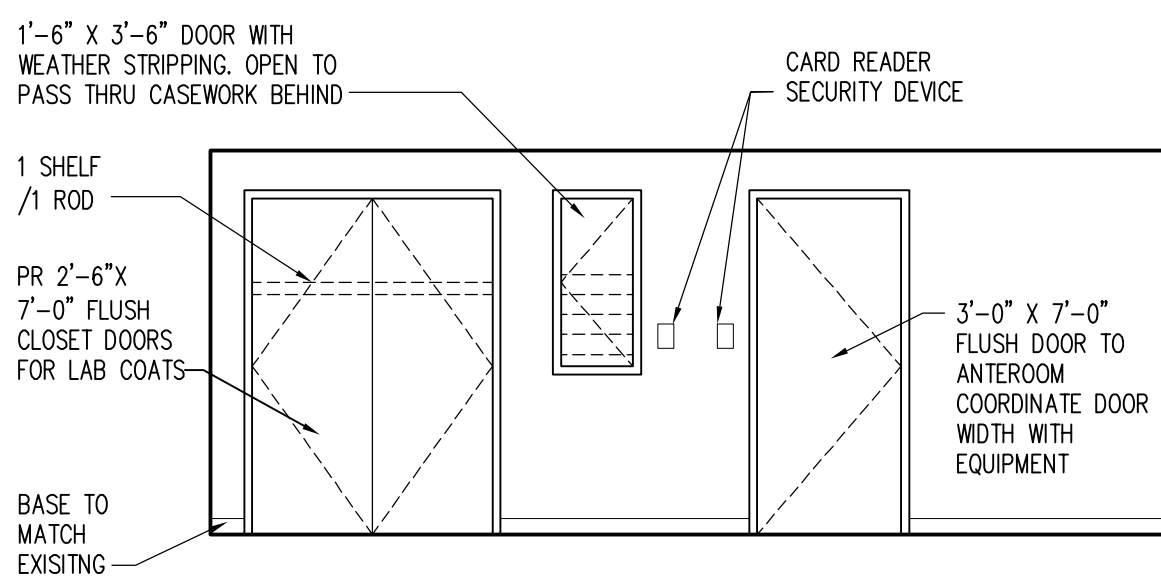
FRAME TYPES

FRAMES

SEE DOOR SCHEDULE FOR DOOR OPENING SIZES. FRAME PROFILES TO MATCH FACILITY FRAMES.

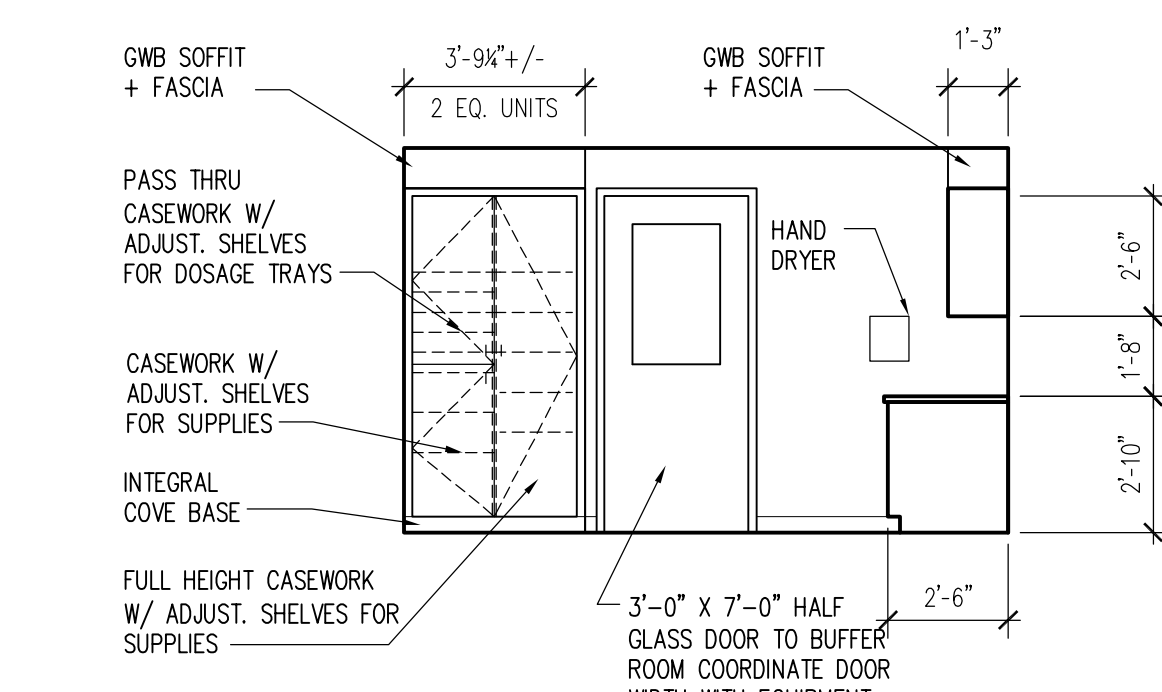


DOOR AND FRAME SCHEDULE



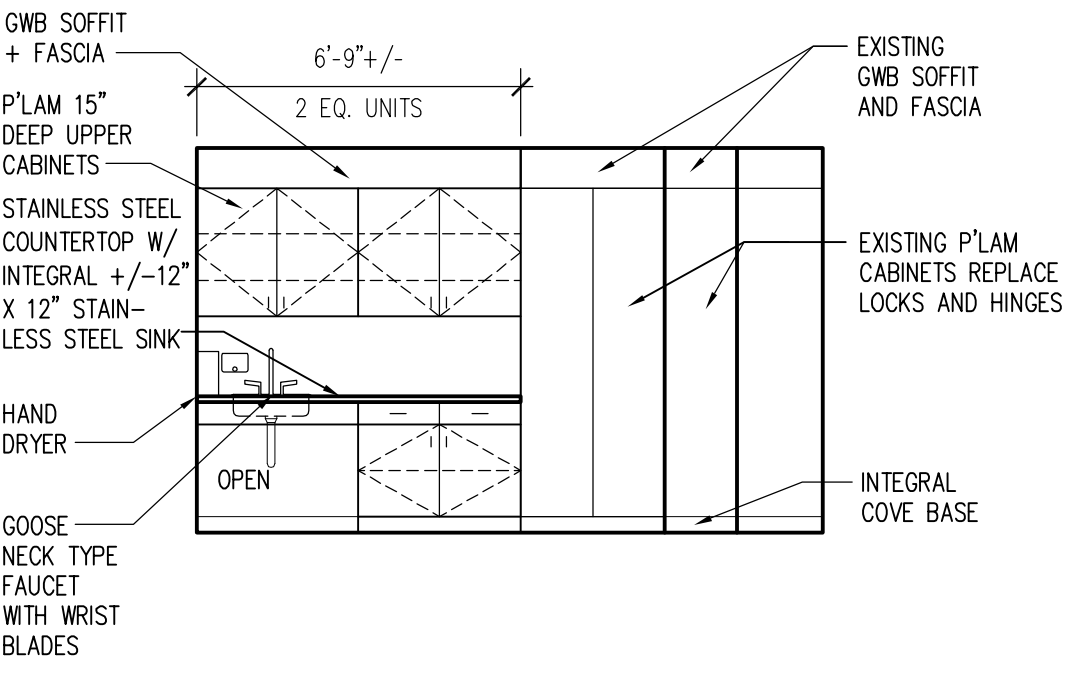
1C HALLWAY ELEVATION

1/4" = 1'-0"



2C ANTEROOM ELEVATIONS

1/4" = 1'-0"



ROOM FINISH SCHEDULE											
ROOM #	ROOM NAME	FLOOR	BASE	WALLS				NOTES	CEILING	NOTES	REV. No.
				N	E	S	W				
350	HALLWAY	EX1	RB1	P1	P1	P1	P1		APC1		
351	ANTEROOM	SV1	SVB1	EPX1	EPX1	EPX1	EPX1	HEAT WELD SEAMS	APC2	GWB CEILING OPTION	
352	BUFFER	SV1	SVB1	EPX1	EPX1	EPX1	EPX1	HEAT WELD SEAMS	APC2	GWB CEILING OPTION	
353	CLOSET	EX1	RB1	P1	P1	P1	P1		APC1		

- ABBREVIATIONS:**
- EX Existing to Remain
 - MEX Match New Construction with Existing Adjacent Finishes
 - PAM Patch & Match New Construction with Existing Adjacent Construction & Finishes

FINISH COLOR AND PATTERN LIST				
REFERENCE ID	MANUFACTURER	DESCRIPTION / SIZE	COLOR / PATTERN	REMARKS
FLOOR				
EX1	MATCH EXISTING		TO MATCH EXISTING	
SV1	ARMSTRONG	MEDTONE	#H8319 SAND LIGHT	MATCHING WELDING ROD
WALL				
EPX1	VALSPAR	EPOXY/POLYESTER COATING	DESCOGLAZE-1 WHITE	2 COATS DESCOGLAZE-1 RESIN + DESCOGLAZE HARDENER
P1	BENJAMIN MOORE, AURA	EGGSHELL FINISH	TO MATCH EXISTING # 1066	
P2	BENJAMIN MOORE, AURA	EGGSHELL FINISH	TO MATCH EXISTING # 1236 DOOR FRAMES	
RESILIENT BASE				
RB1	JOHNSONITE	RUBBER COVE BASE AND PREFORMED CORNERS	TO MATCH EXISTING	
SVB1	ARMSTRONG	MEDTONE (COVE)	#H8319 SAND LIGHT	MATCHING WELDING ROD
CEILING				
APC1	ARMSTRONG	MATCH EXISTING	WHITE	
APC2	ARMSTRONG	CLEANROOM XL 2'X2'X5/8"	WHITE	CLEAN ROOM 1-1/2" EXPOSED TIE GRID
GBEPX1	VALSPAR	EPOXY/POLYESTER COATING	DESCOGLAZE-1 WHITE	ALTERNATE CEILING OPTION 2 COATS DESCOGLAZE-1 RESIN + DESCOGLAZE HARDENER
SOLID SURFACE				
S1	CORIAN	1/2" ON WHEATBOARD	MACADAM	
S2	CORIAN	1/2" ON WHEATBOARD	BETHANY	ALTERNATE SOLID SURFACE OPTION
S3	CORIAN	1/2" ON WHEATBOARD	MAUI	ALTERNATE SOLID SURFACE OPTION
PLASTIC LAMINATE				
PL1	NEVAMAR	BLUE LUNARIA LU3001T	ALTERNATE PLAM OPTION IN LIEU OF S1	
PL2	FORMICA	SAND CRYSTAL 3517-MATTE	ALTERNATE PLAM OPTION IN LIEU OF S2	
PL3	FRONTIER	AGATHA XT181-SUBSE	ALTERNATE PLAM OPTION IN LIEU OF S3	
PL4	FORMICA	AMBER MAPLE-7012 MATTE	MATCH EXISTING WOOD GRAIN	
			W/ 1/4" CANPLAST PVC EDGE BAND #9155	

Drawn
Checked

DAVITA MINNEAPOLIS FACILITY
3RD-FLOOR
825-SOUTH-8TH-STREET
MINNEAPOLIS-MN

Number M/D/Y Issued For

PLANS ELEVATIONS DETAILS SCHEDULES

Date 11/19/10
Scale 1/4" = 1'-0"
Proj. Number
Drawing Number **A 101**