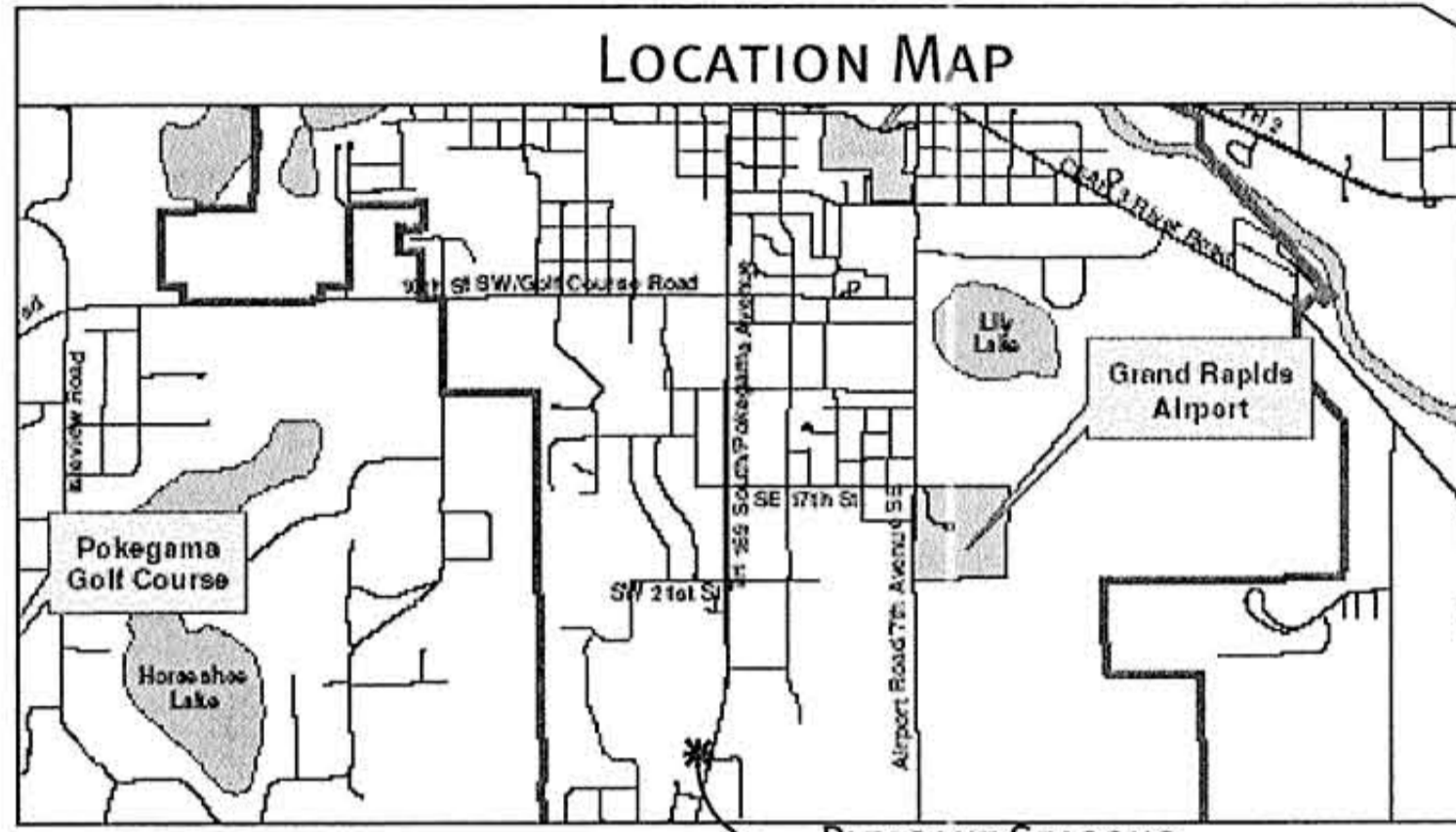


PLEASANT SEASONS ASSISTED LIVING SUNROOM ADDITION CONSTRUCTION DOCUMENTS

GRAND RAPIDS



GENERAL NOTES

- DASHED WALLS DENOTE AREAS TO BE REMOVED IN PREPARATION FOR REMODELING - SEE FLOOR PLAN SHEET A2.0 FOR ALL DEMO INFO.
OPEN WALLS DENOTE EXISTING WALL TO REMAIN.
HATCHED WALLS DENOTE NEW CONSTRUCTION.
- CONTRACTORS SHALL VISIT SITE PRIOR TO BIDDING.
- CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.
- ANY EXISTING FINISHES TO REMAIN THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RETURNED TO CONDITION PRIOR TO BEGINNING OF CONSTRUCTION.
- VERIFY EXTENT OF MATERIALS TO BE RETAINED FOR OWNER'S USE PRIOR TO REMOVAL.
- VERIFY THE EXTENT OF MATERIALS TO BE RE-INSTALLED DURING THE CONSTRUCTION PHASE.
- PROVIDE TEMPORARY SEALS AND BARRIERS AS NECESSARY TO PREVENT THE SPREAD OF DUST AND DEBRIS TO OTHER AREAS OF THE BUILDING OCCUPIED DURING CONSTRUCTION.
- NOTIFY ARCHITECT OF ALL UNFORESEEN CONDITIONS AFFECTING PROPOSED CONSTRUCTION.
- EXTERIOR WALLS ARE DIMENSIONED TO THE OUTSIDE FACE OF FOUNDATION WALL. INTERIOR WALLS ARE DIMENSIONED TO THE CENTER OF THE WOOD STUDS.
- ALL WALLS ARE TO BE CONTINUOUS TO THE UNDERSIDE OF THE ROOF DECK UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY LOCATIONS WITH OWNER ON SITE FOR REPAIRS TO SIDING & SOFFITS THAT HAVE WATER DAMAGE, DRY ROT OR ANY OTHER DETERIORATING CONDITION.
- ELECTRICAL CONTRACTOR TO PROVIDE ADDITIONAL LIGHTING IN THE HALLWAYS TO BE SPECIFIED BY OWNER.
- ALL ELECTRICAL, HVAC, PLUMBING TO BE COORDINATED BY GENERAL CONTRACTOR WITH DESIGN-BUILD SUBS.

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET
- A2.0 FLOOR PLAN
- A3.0 RCP & ELEVATIONS
- A4.0 SECTIONS & DETAILS
- A4.1 CANOPY SECTIONS & DETAILS

STRUCTURAL

- S1.1 FOUNDATION PLAN, DETAILS & NOTES
- S2.1 ROOF FRAMING PLAN, SECTIONS & DETAILS
- S2.2 SECTIONS & DETAILS

DESIGN TEAM

OWNER

MISSION HEALTH CARE
13900 HILL RIDGE DRIVE
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PHONE: 952-595-8751
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CONTACT: TOM BOERBOOM
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ARCHITECT

DSGW ARCHITECTS
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E-MAIL: TERICKSON@DSGW.COM
CONSTRUCTION ADMINISTRATION
CONTACT: GREG GRANHOLM
E-MAIL: GGRANHOLM@DSGW.COM

STRUCTURAL CONSULTANT

NORTHLAND CONSULTING ENGINEERS
114 SOUTH 20TH AVENUE WEST
DULUTH, MN 55806
PHONE: 218-727-5995
FAX: 218-727-7779

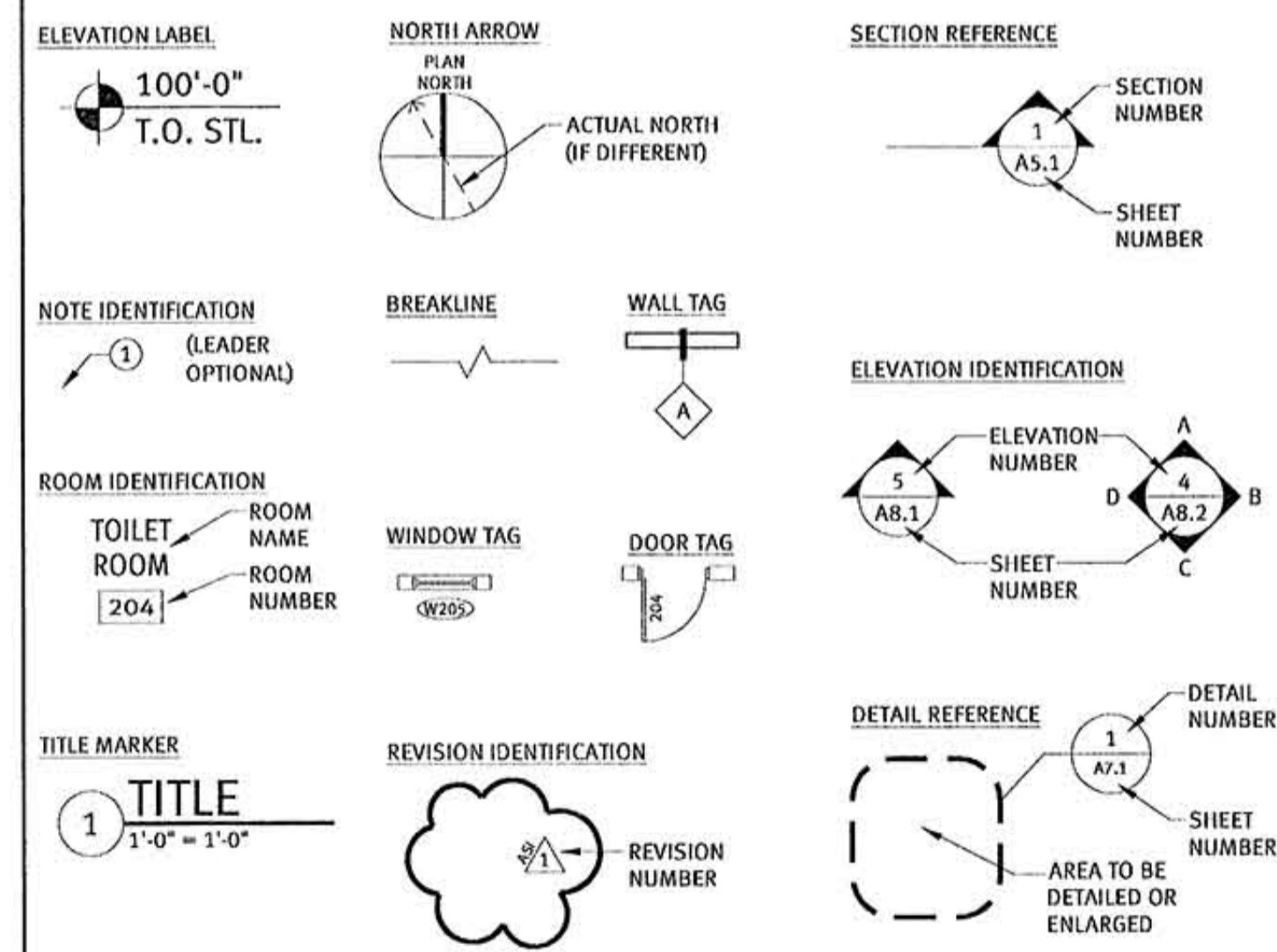
CONTACT: MARK UDD
E-MAIL: MARK@NCE-DULUTH.COM

GENERAL CONTRACTOR

SOURCE GROUP
600 TWELVE OAKS CNT DR. SUITE 685
WAYZATA, MN 55391
PHONE: 218-722-0547
FAX: 218-722-1514

CONTACT: DAVE LINK
E-MAIL: DLINK@SOURCEGROUPLLC.COM
CONTACT: ERIC GABRIELSON
E-MAIL: EGABRIELSON@SOURCEGROUPLLC.COM

SYMBOLS



CODE DATA

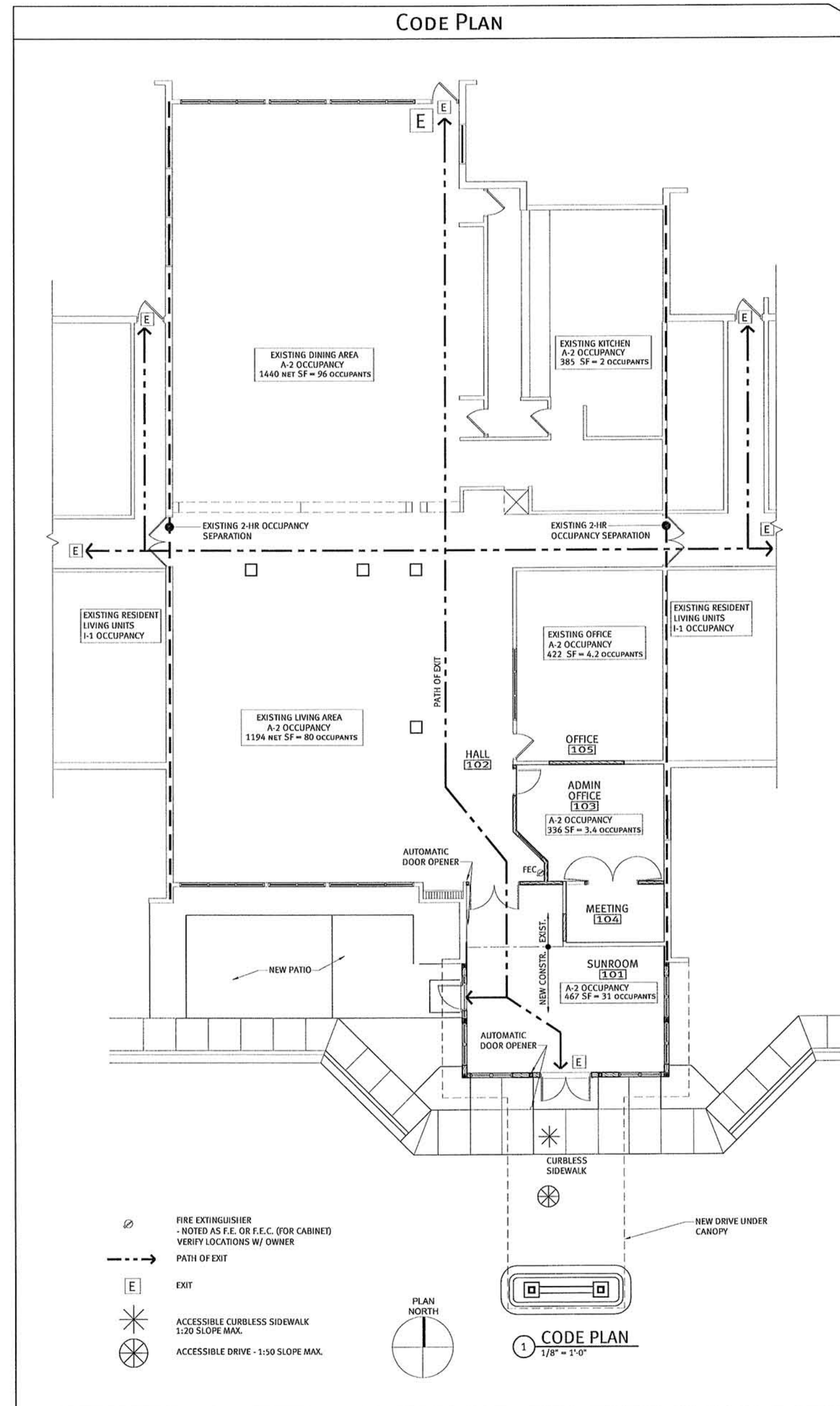
EXISTING BUILDING INFORMATION
RESIDENT ROOM AREA: I-1 OCCUPANCY, CONSTR. TYPE: V-B, AREA = 47,090 SF, 1 LEVEL
DINING/COMMONS AREA: A-2 OCCUPANCY, CONSTR. TYPE: V-A, ACTUAL AREA = 6,081 SF (1 LEVEL), ALLOWABLE AREA = 11,500 (2 LEVELS) TABLE 503 IBC 2006

NOTES: NO CHANGES PROPOSED TO I-1 OCCUPANCY
TWO HOUR SEPARATION EXISTS BETWEEN OCCUPANCIES
EXISTING BUILDING IS NOT SPRINKLED

SUNROOM ADDITION
A-2 OCCUPANCY, CONSTRUCTION TYPE: V-B,
SUNROOM AREA = 382 SF, 1 LEVEL
CANOPY AREA = 407 SF (EXTERIOR SPACE)

NOTES: ADDITIONAL MEANS OF EGRESS PROVIDED, NOT REQUIRED

CODE PLAN



PLEASANT SEASONS ASSISTED LIVING SUNROOM ADDITION

2815 HIGHWAY 169 SOUTH
GRAND RAPIDS, MN

project # 06151.1
date 7-10-07
file name 06151.1-A0.1 TITLE SHEET
drawn by TLE
checked by RJL
name REBECCA J. LEWIS, AIA
reg. # 23539
sign date 7-10-07

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

signature: *Rebecca J. Lewis*

mark revision/issue date

sheet title TITLE SHEET
sheet number A0.1

LAST: MAY 9, 2007, PLOTTED BY: TERRI ERICKSON, \\\NCS\DUH\PROJECTS\061511\061511-01\EVERGREEN TERRACE & PLEASANT SEASONS ASSISTED LIVING ADDITION\SHEETS\06151.1-A0.1 TITLE SHEET.DWG